

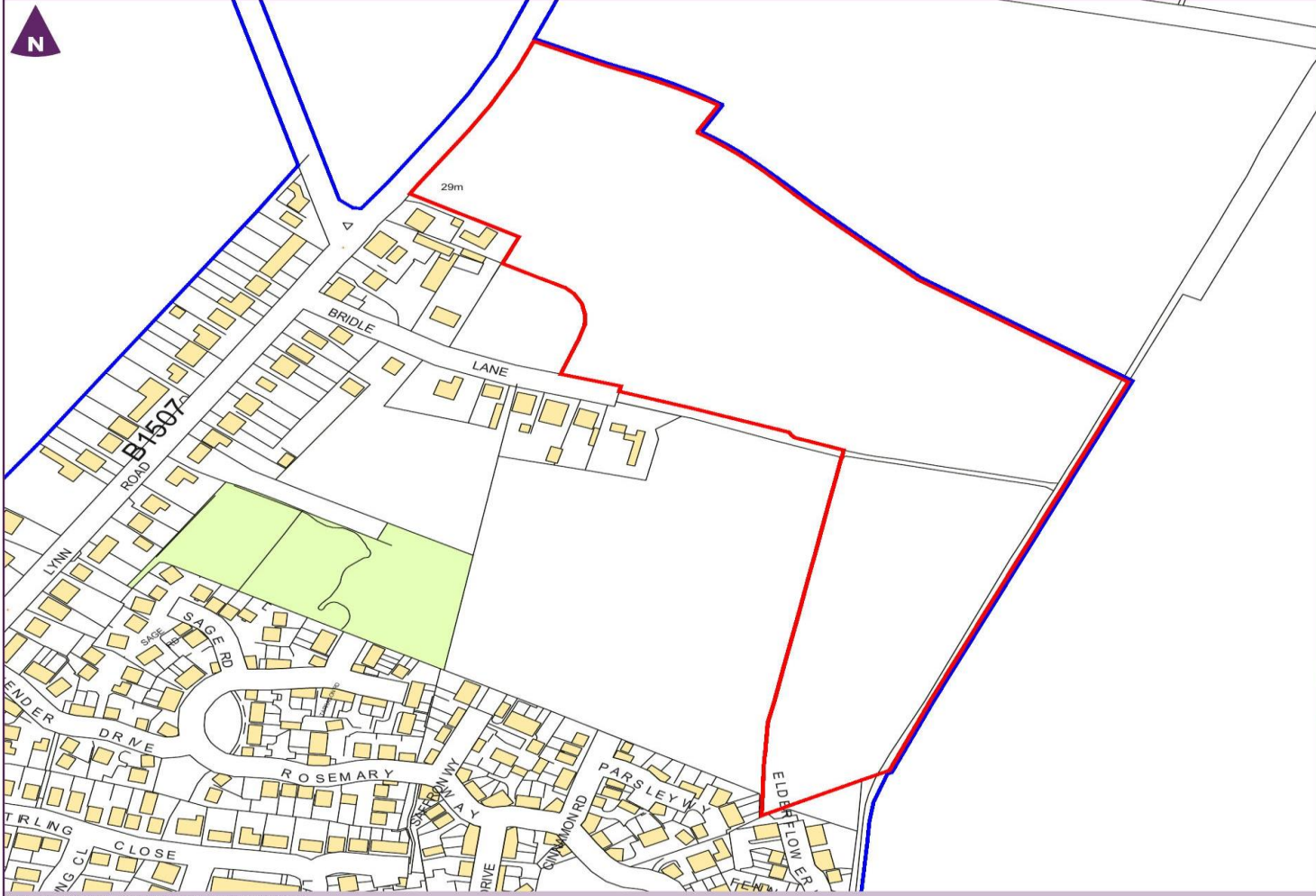
Planning Committee

5 December 2022



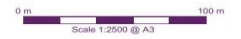
21/01121/RMM





Key

- Site boundary - 9.20ha
- Additional Land in control of Albanwise Ltd



Client



Land North East of Downham Market



Site boundary



Place Making Key:

-  attenuation
-  allotments
-  green corridors
-  key views
-  key nodes
-  key frontage
-  indicative pedestrian access
-  community hub

Project
Bridle Lane, Downham Market

Client
Persimmon Homes

Drawing Title
Place Making Framework

| | | | |
|-------------|---------|--------|-------------|
| Job No: | NR5041B | Date: | 25.05.2022 |
| Drawing No: | SK07 | Scale: | 1:1000 @ A1 |

Revision
E

BE1 Architects Ltd
 9 Abbey Court,
 Fraser Road,
 Pricy Business Park,
 Bedford, MK44 3WH
 tel: 01234 261 266 email: enquiries@be-1.co.uk
 www.be1architects.co.uk





Green Strategy Key:

-  proposed development
-  existing settlement
-  proposed attenuation
-  formal POS & proposed planting
-  proposed hedgerow/screening
-  existing bridleway
-  existing bus stop
-  proposed LEAP
-  indicative pedestrian access



Project
Bridle Lane, Downham Market

Client
Persimmon Homes

Drawing Title
Development Framework Plan

Job No: NR5041B Date: 25.05.2022

Drawing No: SK05 Scale: 1:1000 @ A1

Revision
E

BE1 Architects Ltd
 9 Abbey Court,
 Fraser Road,
 Priors Business Park,
 Bedford, MK44 3WH
 tel: 01234 261 266 email: enquiries@be-1.co.uk
 www.be1architects.co.uk





Character Areas Key:

- Gateway
- The Avenue
- The Outlooks
- Tree Tops

Project
Bridle Lane, Downham Market

Client
Persimmon Homes

Drawing Title
Place Making & Character Areas

| | |
|---------------------|----------------------|
| Job No. NR5041B | Date 26.05.2022 |
| Drawing No. SK08 | Scale 1:1000 @ A1 |














Revision
D

BE1 Architects Ltd
 9 Abbey Court,
 Fraser Road,
 Priory Business Park,
 Bedford, MK44 3WH
 tel: 01234 261 266 email: enquiries@be-1.co.uk
 www.be1architects.co.uk





Access & Movement Key:

-  primary distributor
-  secondary road
-  pedestrian priority zone
-  tertiary road/shared surface
-  shared private drive
-  vehicular access
-  indicative pedestrian access
-  existing bus stops
-  PROW & pedestrian routes
-  indicative pedestrian routes
-  committed cycle corridor
-  indicative cycle route
-  future development access



Project
Bridle Lane, Downham Market

Client
Persimmon Homes

Drawing Title
Access & Movement Framework

| | | |
|---------------------|----------------------|---------------|
| Job No. NR5041B | Date 26.05.2022 | Revision D |
| Drawing No. SK09 | Scale 1:1000 @ A1 | |



Green Strategy Key:

-  attenuation
-  formal POS & proposed planting
-  allotments
-  existing trees
-  proposed planting
-  buffer planting
-  indicative pedestrian access
-  existing bridleway/PROW
-  indicative pedestrian routes
-  indicative LEAP location

Project
Bridle Lane, Downham Market



Client
Persimmon Homes

Drawing Title
Green Strategy Framework

| | | |
|---------------------|-----------------------|----------|
| Job No: NR5041B | Date: 26.05.2022 | Revision |
| Drawing No: SK10 | Scale: 1:1000 @ A1 | D |

BE1 Architects Ltd
 9 Abbey Court,
 Fraser Road,
 Pricy Business Park,
 Bedford, MK44 3WH
 tel: 01234 261 266 email: enquiries@be-1.co.uk
 www.be1architects.co.uk



-  Affordable Rent
-  Shared Ownership



| | | | |
|-----|-------------------------------|----------|----|
| D | SO's updated | 09/11/22 | AT |
| W | LEAP and LAP amended | 02/11/22 | AT |
| M | Visitor parking spaces added | 05/11/22 | AT |
| L | BCP 11 amended | 21/10/22 | AT |
| K | Scale amended | 12/10/22 | AT |
| J | Plans 24/25 & 210-211 swapped | 07/10/22 | AT |
| I | Layout amended | 21/09/22 | AT |
| H | Layout amended | 15/09/22 | AT |
| G | Layout amended | 08/09/22 | AT |
| F | Layout amended | 05/09/22 | AT |
| E | Existing buildings added | 31/08/22 | AT |
| D | House type mix amended | 22/08/22 | AT |
| C | Plot 3 turning head amended | 26/07/22 | AT |
| B | Layout amended | 28/06/22 | AT |
| A | Form amended | 10/06/22 | AT |
| Rev | | Date | By |

PERSIMMON
 Persimmon Homes Ltd.
 Persimmon House
 19 Commercial Road
 Liphewood Business Park
 Liphewood Heath
 PE2 6LR
 Tel: 01753 897200

Site Name:
Bridle Lane
Downham Market

Drawing:
Proposed
Planning
Layout

| | | |
|-----------|---------------|----------|
| Scale@A1: | Drawn By: | Date: |
| 1:1000 | AT | 11/05/22 |
| Version: | Drawing No: | Rev: |
| | BL/DW/PPL/100 | 0 |



KEY TO MASTERPLAN

| Soft Landscape | Tree Strategy | Hard Landscape | Enclosures |
|---|---|--|--|
| Proposed Former Hedge Along Site Access and Gateway | Proposed Planted Trees | Proposed Concrete Block Paving Shared Spaces - Bricks | Glass and Framing in Apartment Facades |
| Proposed Ornamental Hedges | Proposed Garden Trees | Proposed Concrete Block Paving Shared Spaces - Asphalt Tiles | Flat Area Paving |
| Proposed Shrubs | Proposed Ornamental Trees | Proposed Paved in Parking Spaces | Stair and Stair Treadings |
| Boundary Grass | Proposed Native Trees | Proposed Paved in Building | Stone Walling to New Structures |
| Front Garden Grass | Proposed Street Trees | Proposed Terrace Paved Surfacing | Stone Wall Landscaping |
| Back Garden Grass | Proposed Fruit Trees | Proposed Paving to Private Pavements | |
| Proposed Native Hedging | Existing Vegetation Along Site Boundaries | Gravel Surf | |
| Wildflower Meadows | Wildflower Meadows of Grassland (grey) | Areas of Play | |
| Soft Meadow Meadows | | Soft Area Equipment | |
| Tennis Ball Paving | | | |
| Integrative Surf with Strategic Planting | | | |



| Rev | Notes | Date | Comments |
|-----|-------|----------|--------------------------------|
| 1 | PS | 25/11/22 | Approved by the Mayor 8/11/22 |
| 2 | AS | 27/11/22 | Approved by the Mayor 28/11/22 |
| 3 | AS | 28/11/22 | Approved by the Mayor 29/11/22 |
| 4 | AS | 28/11/22 | Approved by the Mayor 29/11/22 |

JKR 22/01121/22/01
Landscape Masterplan for Phase and F&S

| Drawn | Checked | Date |
|---------------------------|---------|----------|
| Peri-Anne Holmes East WMA | Steve | 28/11/22 |
| David W | Steve | 28/11/22 |
| PK | PK | 28/11/22 |

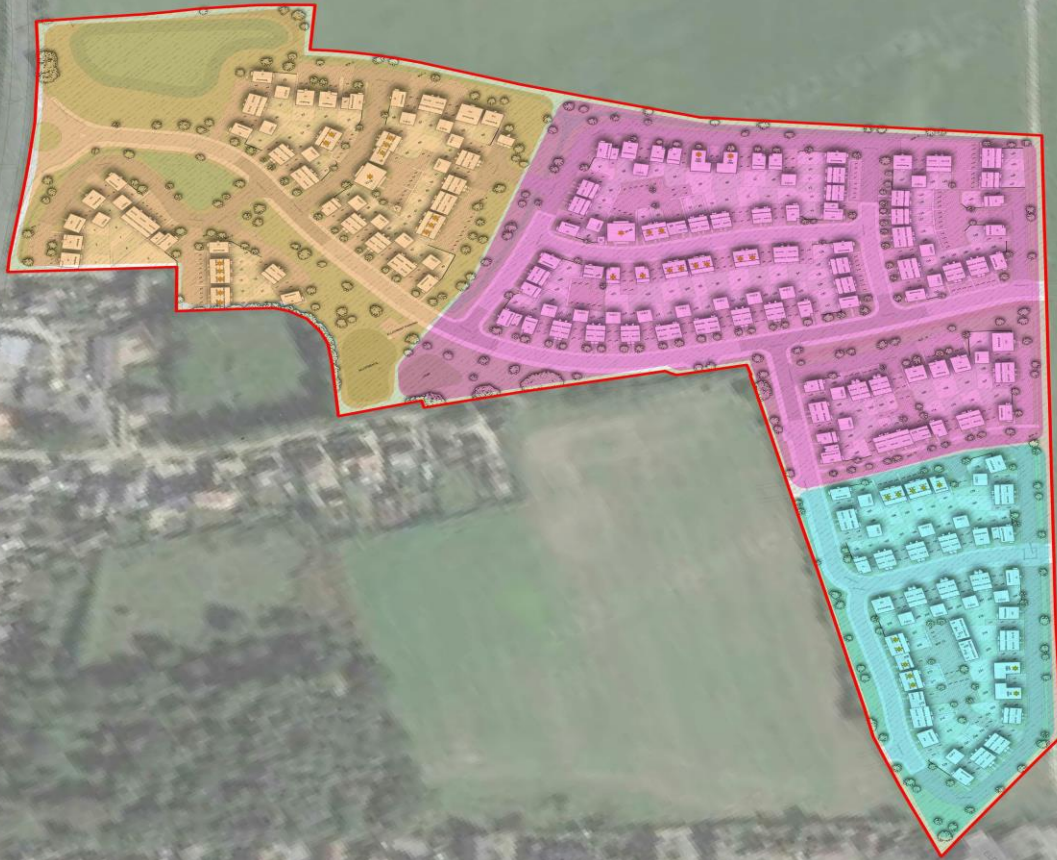
James Blake Associates Ltd
 100, 102, 104, 106, 108, 110, 112, 114, 116, 118, 120, 122, 124, 126, 128, 130, 132, 134, 136, 138, 140, 142, 144, 146, 148, 150, 152, 154, 156, 158, 160, 162, 164, 166, 168, 170, 172, 174, 176, 178, 180, 182, 184, 186, 188, 190, 192, 194, 196, 198, 200, 202, 204, 206, 208, 210, 212, 214, 216, 218, 220, 222, 224, 226, 228, 230, 232, 234, 236, 238, 240, 242, 244, 246, 248, 250, 252, 254, 256, 258, 260, 262, 264, 266, 268, 270, 272, 274, 276, 278, 280, 282, 284, 286, 288, 290, 292, 294, 296, 298, 300, 302, 304, 306, 308, 310, 312, 314, 316, 318, 320, 322, 324, 326, 328, 330, 332, 334, 336, 338, 340, 342, 344, 346, 348, 350, 352, 354, 356, 358, 360, 362, 364, 366, 368, 370, 372, 374, 376, 378, 380, 382, 384, 386, 388, 390, 392, 394, 396, 398, 400, 402, 404, 406, 408, 410, 412, 414, 416, 418, 420, 422, 424, 426, 428, 430, 432, 434, 436, 438, 440, 442, 444, 446, 448, 450, 452, 454, 456, 458, 460, 462, 464, 466, 468, 470, 472, 474, 476, 478, 480, 482, 484, 486, 488, 490, 492, 494, 496, 498, 500, 502, 504, 506, 508, 510, 512, 514, 516, 518, 520, 522, 524, 526, 528, 530, 532, 534, 536, 538, 540, 542, 544, 546, 548, 550, 552, 554, 556, 558, 560, 562, 564, 566, 568, 570, 572, 574, 576, 578, 580, 582, 584, 586, 588, 590, 592, 594, 596, 598, 600, 602, 604, 606, 608, 610, 612, 614, 616, 618, 620, 622, 624, 626, 628, 630, 632, 634, 636, 638, 640, 642, 644, 646, 648, 650, 652, 654, 656, 658, 660, 662, 664, 666, 668, 670, 672, 674, 676, 678, 680, 682, 684, 686, 688, 690, 692, 694, 696, 698, 700, 702, 704, 706, 708, 710, 712, 714, 716, 718, 720, 722, 724, 726, 728, 730, 732, 734, 736, 738, 740, 742, 744, 746, 748, 750, 752, 754, 756, 758, 760, 762, 764, 766, 768, 770, 772, 774, 776, 778, 780, 782, 784, 786, 788, 790, 792, 794, 796, 798, 800, 802, 804, 806, 808, 810, 812, 814, 816, 818, 820, 822, 824, 826, 828, 830, 832, 834, 836, 838, 840, 842, 844, 846, 848, 850, 852, 854, 856, 858, 860, 862, 864, 866, 868, 870, 872, 874, 876, 878, 880, 882, 884, 886, 888, 890, 892, 894, 896, 898, 900, 902, 904, 906, 908, 910, 912, 914, 916, 918, 920, 922, 924, 926, 928, 930, 932, 934, 936, 938, 940, 942, 944, 946, 948, 950, 952, 954, 956, 958, 960, 962, 964, 966, 968, 970, 972, 974, 976, 978, 980, 982, 984, 986, 988, 990, 992, 994, 996, 998, 1000





Indicative layout plan - original outline permission

- Phase 1
- Phase 2
- Phase 3



Indication of phasing

Rev _____ Date _____ By _____

PERSIMMON
 Persimmon Homes Ltd.
 Persimmon House
 19 Commercial Road
 Letchworth Business Park
 Letchworth
 SG2 6LR
 Tel: 01453 307200

Site Name:
Bridle Lane
Downham Market

Drawing:
Phasing Plan

| | | |
|-----------|--------------|----------|
| Scale@A1: | Drawn By: | Date: |
| 1:1000 | AT | 24/06/22 |
| Version: | Drawing No: | Rev: |
| | BL/DW/DP/100 | |





















Front Elevation



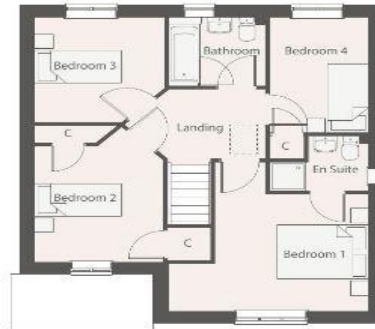
Rear Elevation



Side Elevation



Ground Floor



First Floor



Side Elevation



Front Elevation



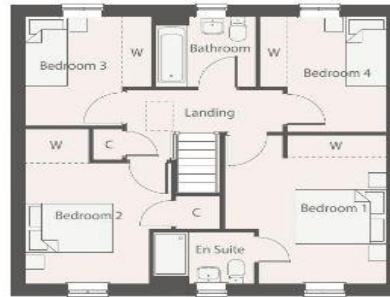
Rear Elevation



Side Elevation



Ground Floor



First Floor



Side Elevation



Front Elevation



Side Elevation



Side Elevation



Ground Floor



First Floor





View south-westwards from Lynn Road frontage close to junction with New Road



View from Lynn Road close to NW corner of the site



Northern side of No.226 Broomhill



View eastwards along southern boundary of site adjoining No.228 Broomhill



View of rear of No.228 Broomhill



View of rears of Nos.7 & 9 Bridle Lane from site boundary



View southwards from rear corner of No.11 Bridle Lane



View of eastern flank of No.11 Bridle Lane



View westwards further along edge of site/field parallel to Bridle Lane



View SW from bridleway close to junction with New Road



| | | | |
|-----|-------------------------------|----------|----|
| D | SO's updated | 09/11/22 | AT |
| W | LEAP and LAP amended | 02/11/22 | AT |
| M | Visitor parking spaces added | 01/11/22 | AT |
| L | BCP 11 amended | 31/10/22 | AT |
| K | Scale amended | 12/10/22 | AT |
| J | Plots 24/25 & 210-211 swapped | 07/10/22 | AT |
| I | Layout amended | 21/09/22 | AT |
| H | Layout amended | 15/09/22 | AT |
| G | Layout amended | 08/09/22 | AT |
| F | Layout amended | 05/09/22 | AT |
| E | Existing buildings added | 31/08/22 | AT |
| D | House type mix amended | 22/08/22 | AT |
| C | Plot 3 turning head amended | 26/07/22 | AT |
| B | Layout amended | 28/06/22 | AT |
| A | Form amended | 10/06/22 | AT |
| Rev | | Date | By |

 **PERSIMMON**
 Persimmon Homes Ltd.
 Persimmon House
 19 Commercial Road
 Liphrood Business Park
 Liphrood Heath
 PE2 6LR
 Tel: 01753 997200

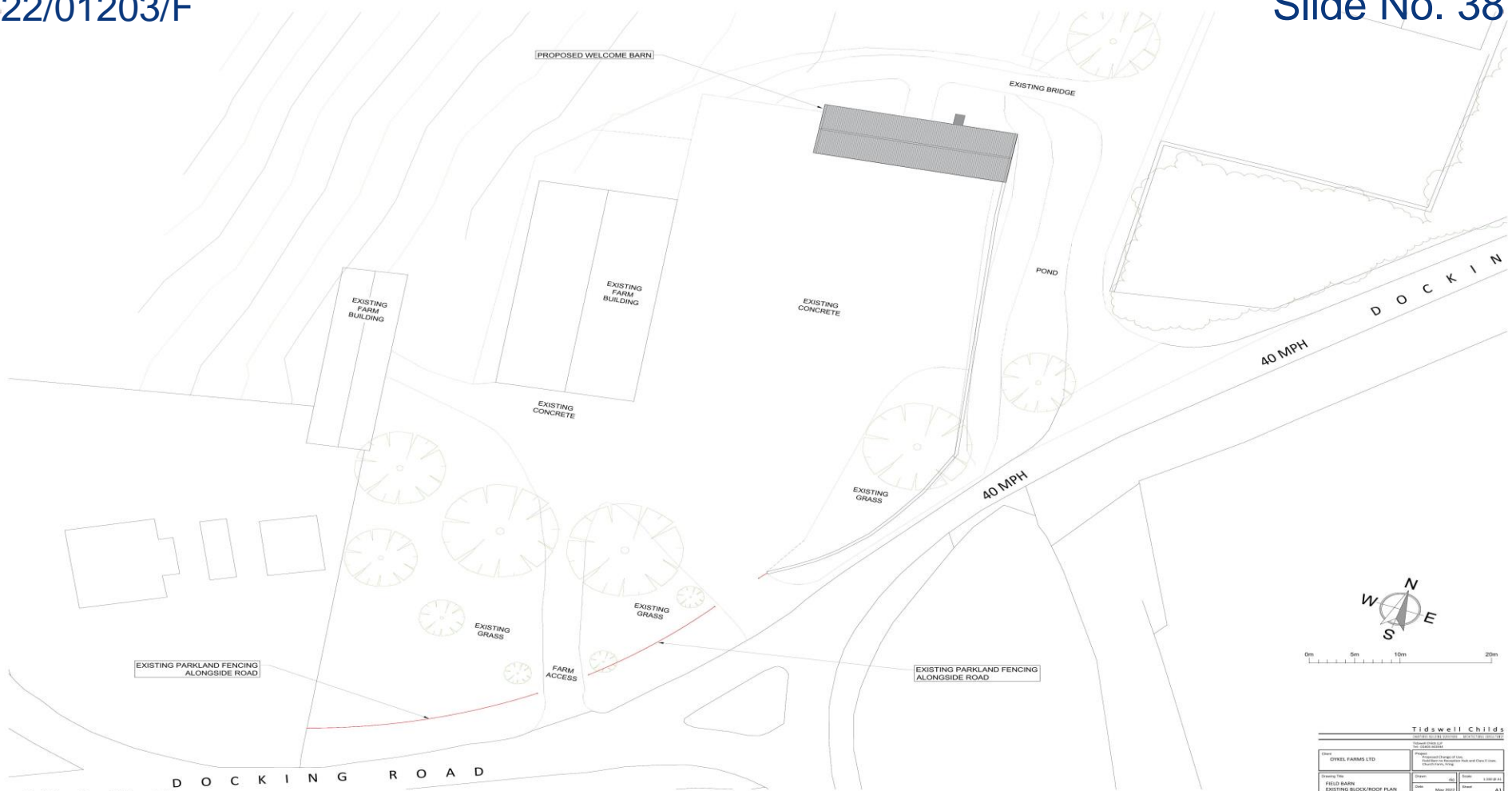
Site Name:
Bridle Lane
Downham Market

Drawing:
Proposed
Planning
Layout

| | | |
|-----------|---------------|----------|
| Scale@A1: | Drawn By: | Date: |
| 1:1000 | AT | 11/05/22 |
| Version: | Drawing No: | Rev: |
| | BL/DW/PPL/100 | 0 |

22/01203/F

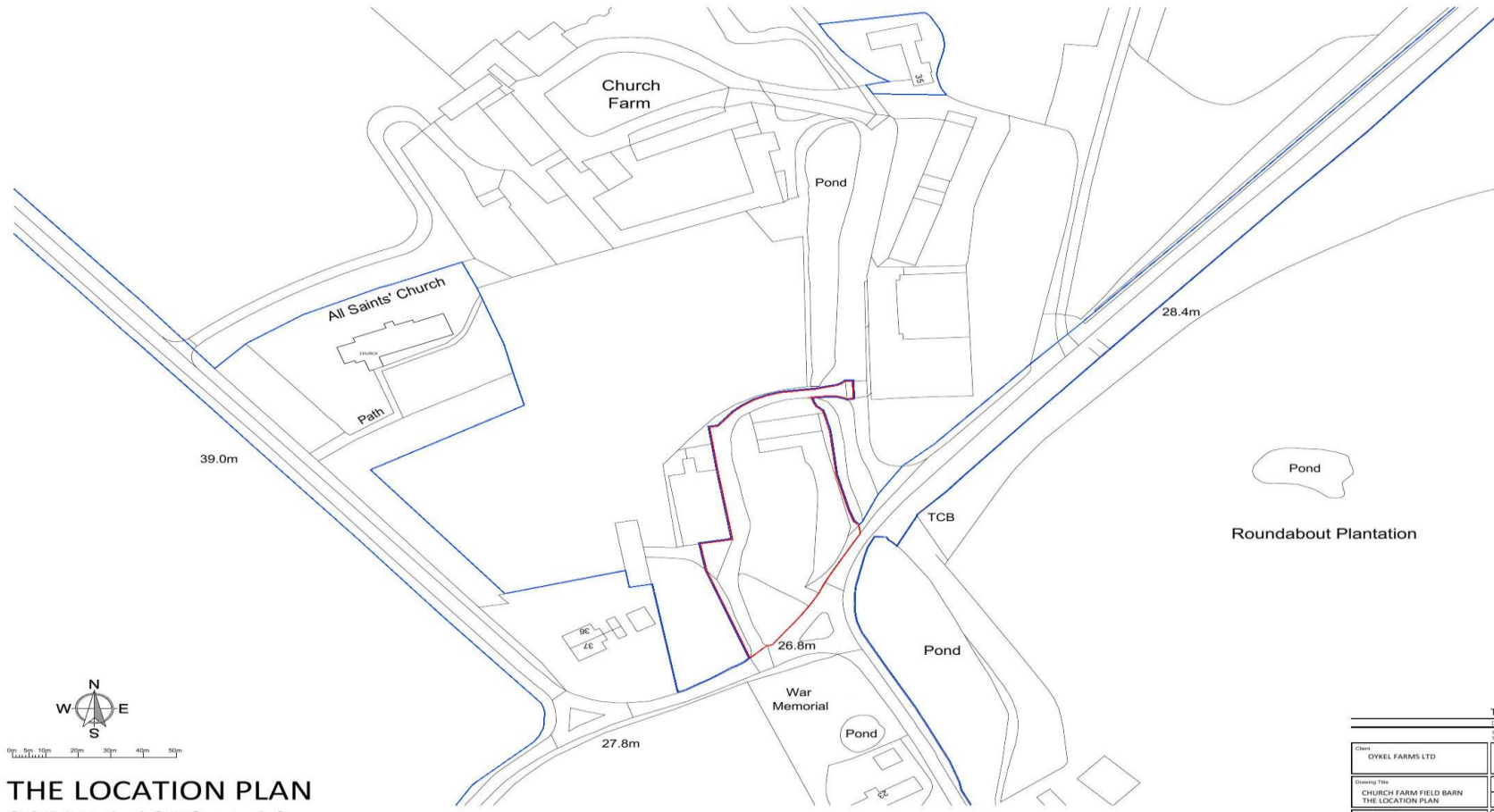




Existing Roof/Block Plan
Scale 1:200 at A1

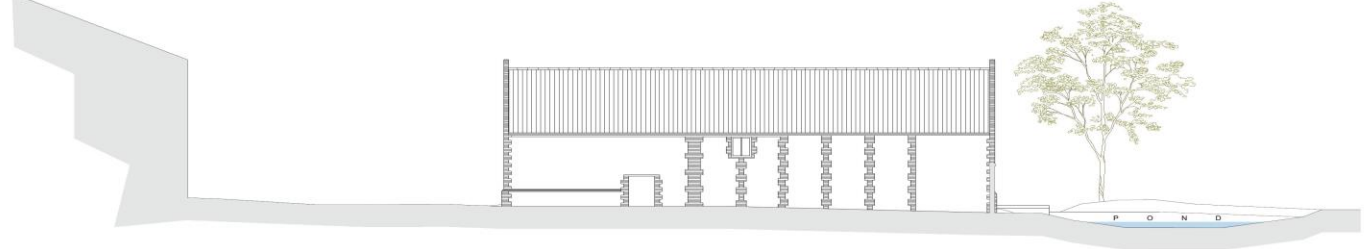


| | | | |
|--|----------------------|--|--------------------------|
| Tidswell Childs 22/01203/F | | | |
| Client: ORIEL FARMS LTD | | Project: PROPOSED WELCOME BARN AND CONCRETE | |
| Drawn: FIELD BARN | | Checked: ORIEL FARMS LTD | |
| Title: EXISTING BLOCK/ROOF PLAN | | Date: May 2022 | Scale: A1 |
| Project No: 22.019 | Drawn No: 002 | Sheet No: D | Total Sheets: 2/2 |

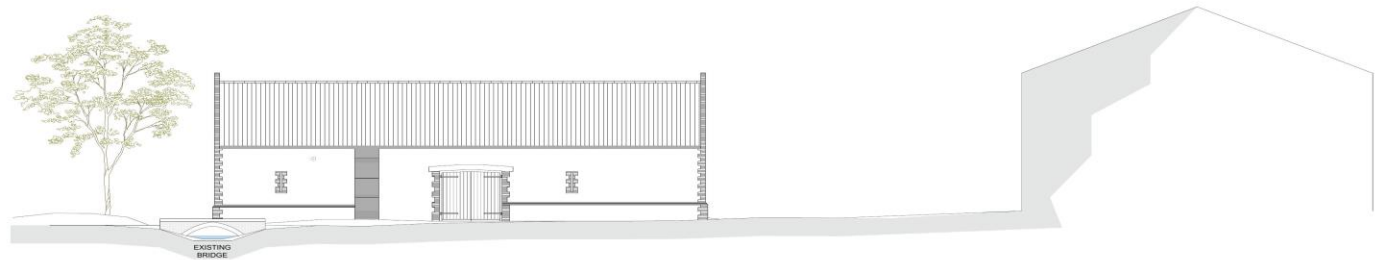


THE LOCATION PLAN
SCALE 1:1250 at A3

| | | | |
|---|----------------|--|---------------|
| Tidswell Childs | | | |
| SURVEYORS & ARCHITECTS | | | |
| Riverside House, 1000044234 | | | |
| Client OYKEL FARMS LTD | | Proposed Proposed Change of Use, Field Barn to Reception Hub and Class 5 Use, Church Farm, Fring. | |
| Drawing Title | Drawn | JCB | Scale |
| CHURCH FARM FIELD BARN THE LOCATION PLAN | Date | MAY 2022 | 1:1250 @ A3 |
| Project Number | Drawing Number | Revision | Revision Date |
| 22.019 | 001 | B | 07.06.22 |



Existing South Elevation



Existing North Elevation



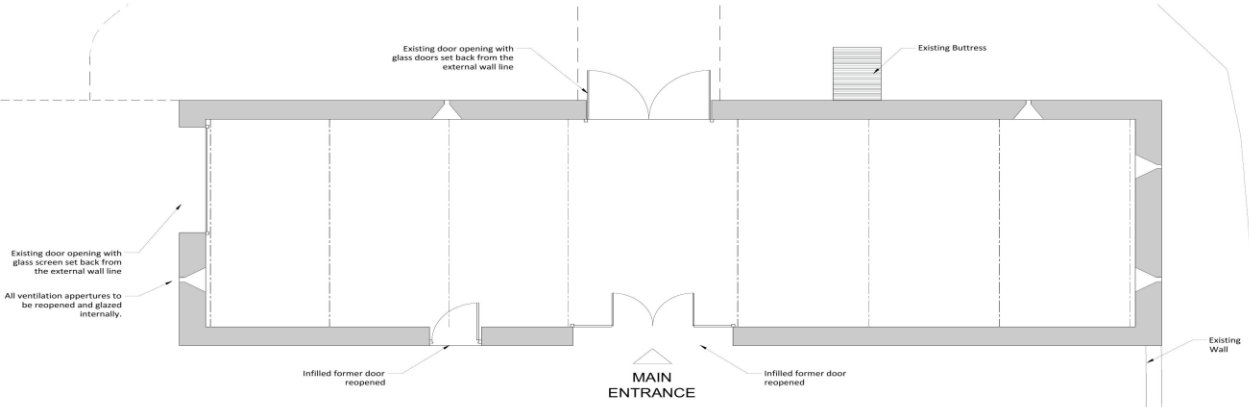
Existing East Elevation



Existing West Elevation

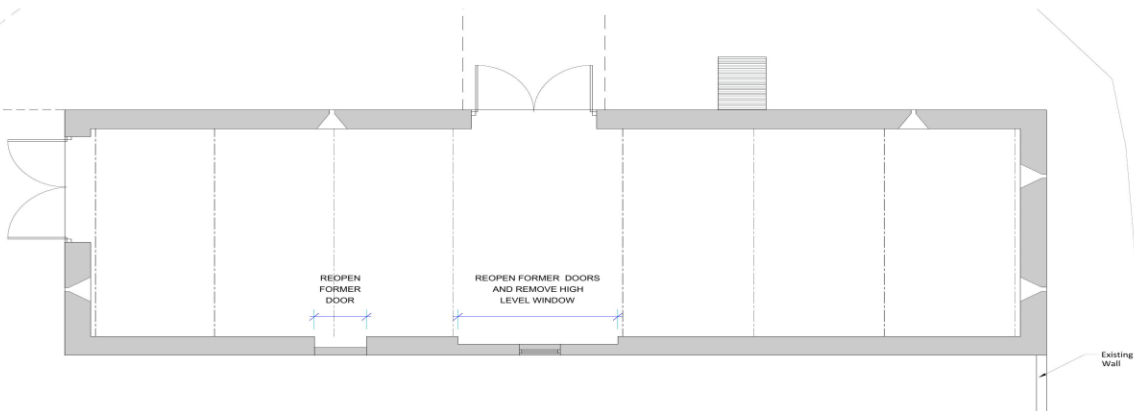
Existing Elevations
1:100 at A1

| | | | |
|---|-----------------------------------|-------------------------|----------------------|
| Tidswell Childs <small>ARCHITECTS LTD</small> | | | |
| <small>Client</small> | <small>Project</small> | <small>Drawn</small> | <small>Scale</small> |
| DIKEL FARMS LTD | FIELD BARN EXISTING ELEVATIONS | 003 | 1:100 at A1 |
| <small>Drawn by</small> | <small>Date</small> | <small>Drawn</small> | <small>Scale</small> |
| 003 | May 2022 | 003 | A1 |
| <small>Project No.</small> | <small>Drawing No.</small> | <small>Revision</small> | <small>Date</small> |
| 22.019 | 003 | D | 20.10.22 |



Proposed Floor Plan. Scale 1:50 at A1

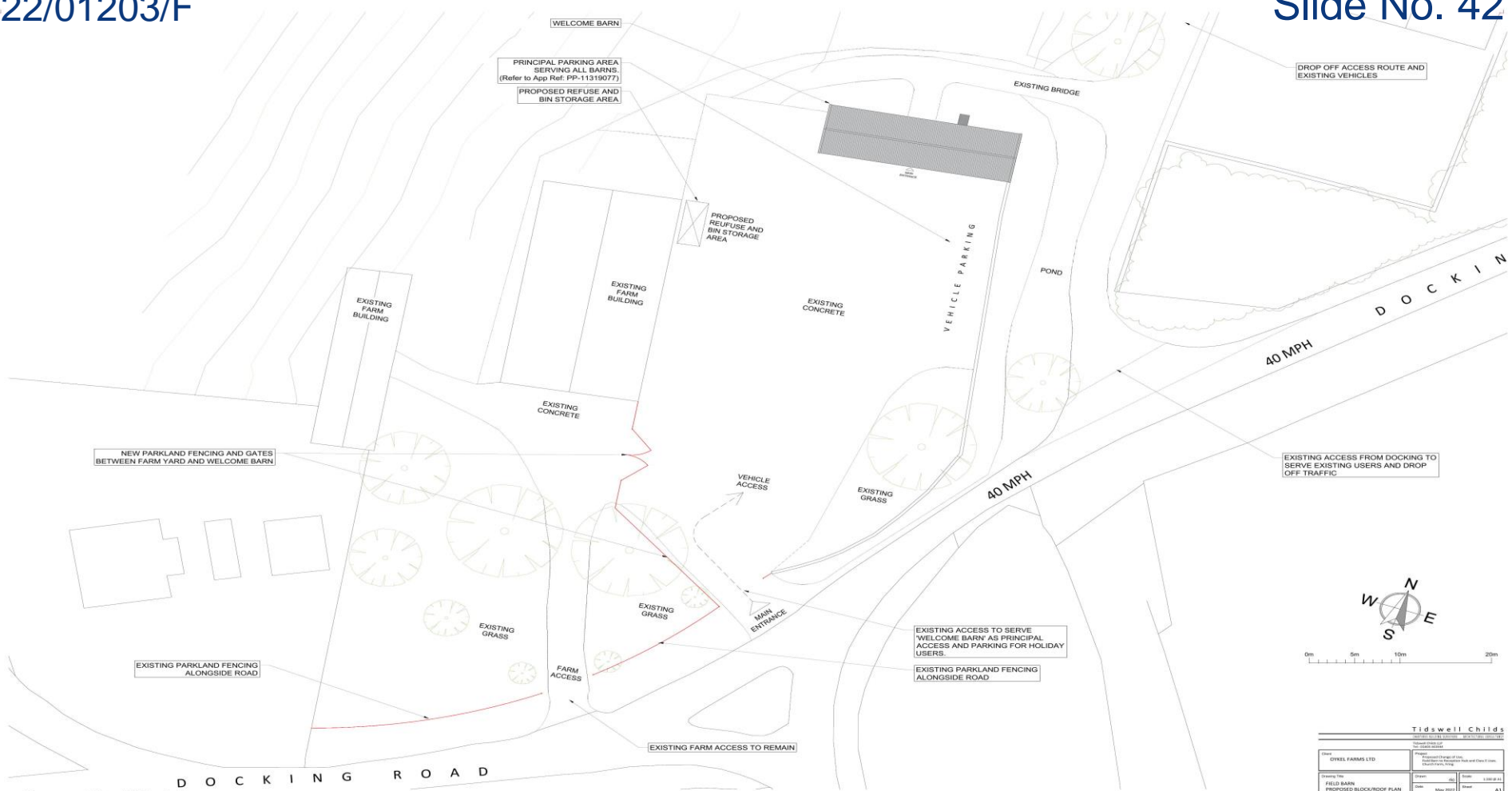
POND



Existing Floor Plan. Scale 1:50 at A1

POND

| | | | |
|---|--|----------------------|----------------------------|
| Tidswell Childs <small>ARCHITECTS AND INTERIORS</small> | | | |
| Client DIXIE FARMAS LTD | Project Renovation of existing building and extension of existing building | Drawn JLB | Scale 1:50 at A1 |
| Drawn by FIELD BARN - EXISTING & PROPOSED FLOOR PLANS | Site May 2022 | Sheet A1 | Revision 004 |
| Project No. 22.019 | Client Ref. 004 | Revision D | Date 20/01/22 |



DROP OFF ACCESS ROUTE AND EXISTING VEHICLES

PRINCIPAL PARKING AREA SERVING ALL BARN (Refer to App Ref: PP-11319077)
PROPOSED REFUSE AND BIN STORAGE AREA

PROPOSED REFUSE AND BIN STORAGE AREA

EXISTING FARM BUILDING

EXISTING FARM BUILDING

EXISTING CONCRETE

VEHICLE PARKING

POND

EXISTING BRIDGE

40 MPH

DOCKING

NEW PARKLAND FENCING AND GATES BETWEEN FARM YARD AND WELCOME BARN

EXISTING CONCRETE

VEHICLE ACCESS

EXISTING GRASS

40 MPH

EXISTING ACCESS FROM DOCKING TO SERVE EXISTING USERS AND DROP OFF TRAFFIC

MAIN ENTRANCE

EXISTING GRASS

EXISTING GRASS

EXISTING ACCESS TO SERVE 'WELCOME BARN' AS PRINCIPAL ACCESS AND PARKING FOR HOLIDAY USERS

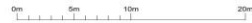
EXISTING PARKLAND FENCING ALONGSIDE ROAD

EXISTING PARKLAND FENCING ALONGSIDE ROAD

FARM ACCESS

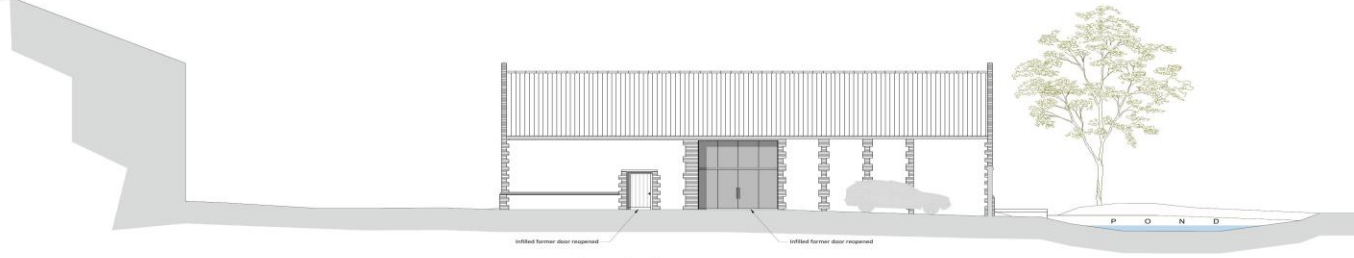
EXISTING FARM ACCESS TO REMAIN

DOCKING ROAD

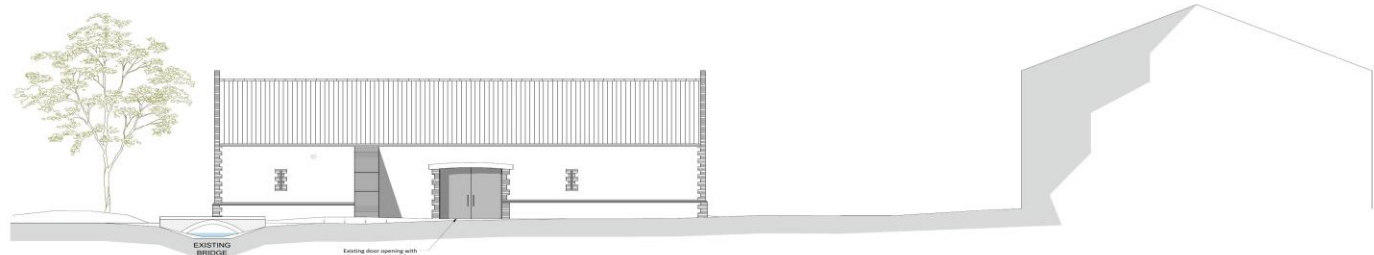


Proposed Roof/Block Plan
Scale 1:200 at A1

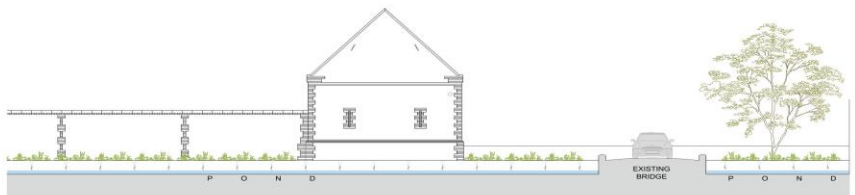
| | | | |
|---|-------------------------------------|--------------------------|----------------------|
| Tidswell Childs <small>Architects and Surveyors</small> | | | |
| <small>Client</small> | <small>Project</small> | <small>Drawn</small> | <small>Date</small> |
| ORIEL FARMS LTD | FIELD BARN PROPOSED BLOCK/ROOF PLAN | JCL | 1.08.22 |
| <small>Drawn by</small> | <small>Checked by</small> | <small>Drawn</small> | <small>Date</small> |
| JCL | JCL | JCL | 1.08.22 |
| <small>Project Ref</small> | <small>Block Ref</small> | <small>Sheet Ref</small> | <small>Scale</small> |
| 22.019 | 005 | D | 1:200 |



Proposed South Elevation



Proposed North Elevation



Proposed East Elevation



Proposed West Elevation

Proposed Elevations
1:100 at A1

| | | | |
|--|--------------------------------|--------------------------|-----------------------|
| Tidswell Childs <small>ARCHITECTS AND PLANNERS</small> | | | |
| <small>100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200</small> | | | |
| <small>Client:</small> | <small>Project:</small> | <small>Drawn:</small> | <small>Scale:</small> |
| DIKEL FARMS LTD | FIELD BARN PROPOSED ELEVATIONS | 006 | 1:100 at A1 |
| <small>Drawn by:</small> | <small>Site:</small> | <small>Date:</small> | <small>Sheet:</small> |
| DIKEL FARMS LTD | FIELD BARN PROPOSED ELEVATIONS | May 2022 | A1 |
| <small>Project No.:</small> | <small>Drawing No.:</small> | <small>Revision:</small> | <small>Scale:</small> |
| 22.019 | 006 | D | 1:100 at A1 |



South elevation of barn with existing hard standing



Neighbouring existing agricultural building to the west



Existing entrance to the area of hard standing and barn from Docking Road



East elevation of the barn and existing brick and flint wall



Existing bridge (access) with All Saints Church



East elevation and existing bridge



Existing bridge



Grassed area positioned to the south of the barn in front of the existing agricultural building



Entrance of neighbouring agricultural building



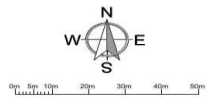
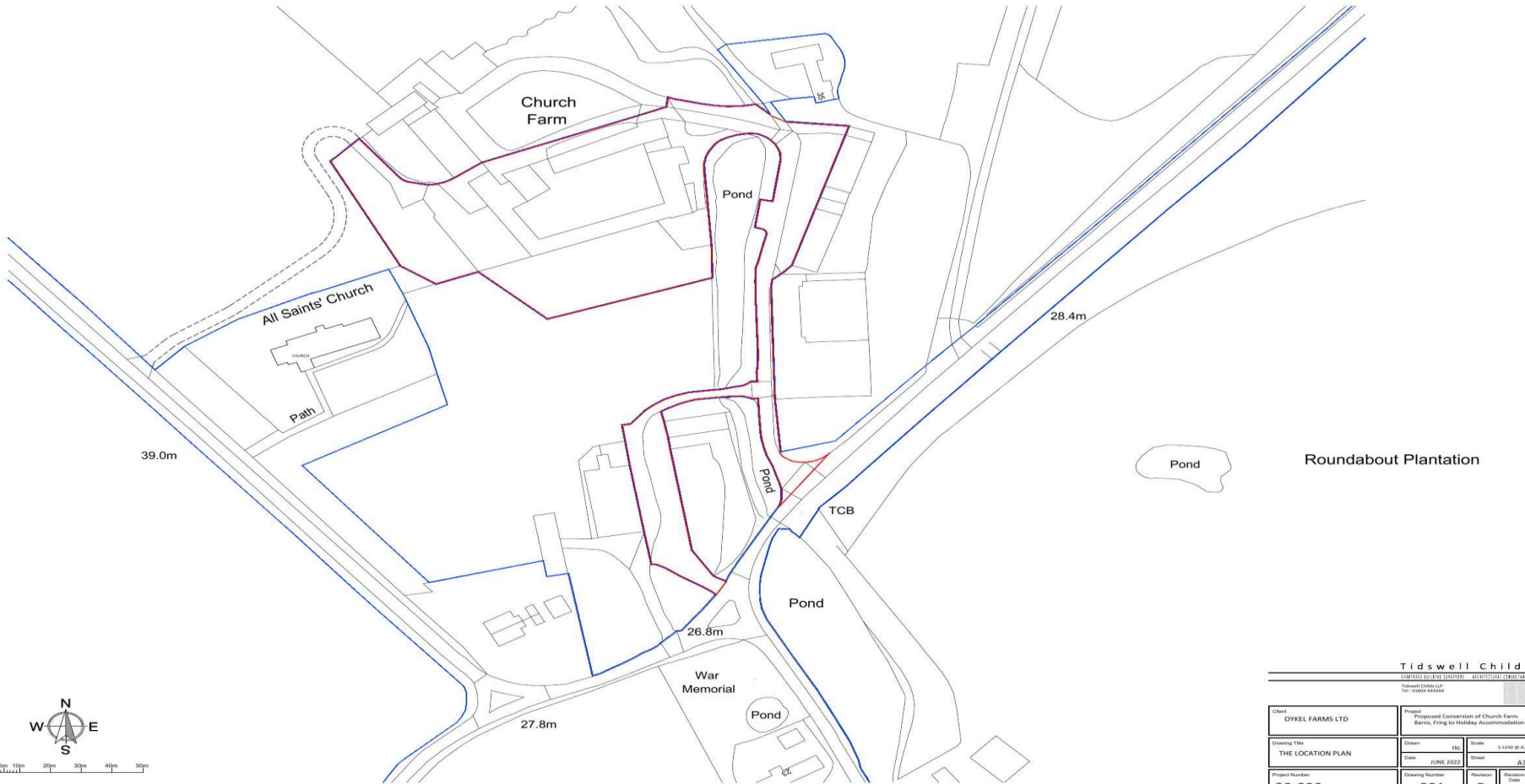
Rear of neighbouring agricultural building



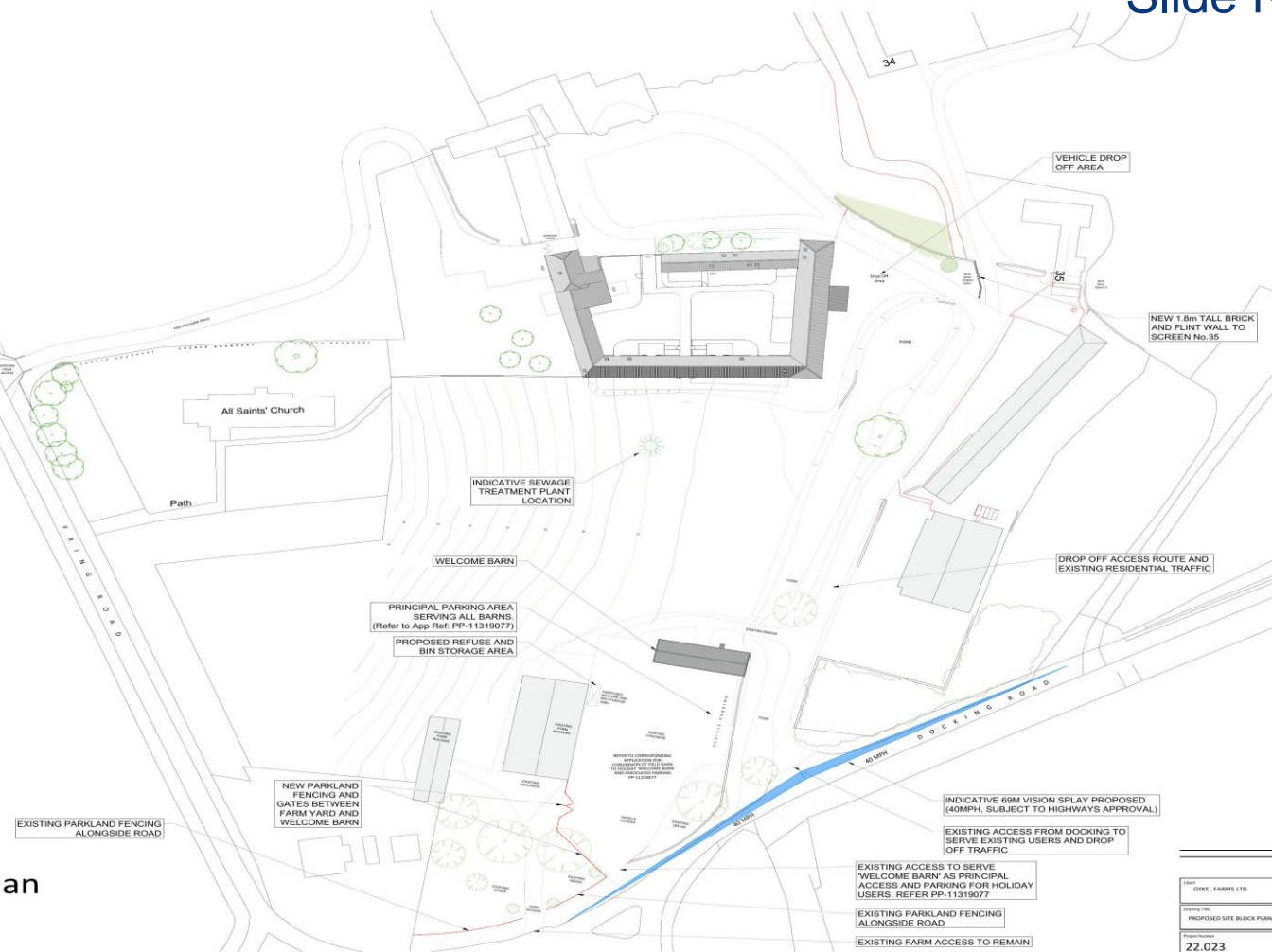
Rear of existing barn

22/01216/F





| | | | |
|---|--|--|----------------------------------|
| Tidswell Childs | | | |
| <small>LANDSCAPE ARCHITECTS</small> | | | |
| <small>Tidswell Childs LLP 100, GLENVIEW ROAD</small> | | | |
| Client OYKEL FARMS LTD | | Project Proposed Conversion of Church Farm Barns, 171g to Holiday Accommodation | |
| Drawing Title THE LOCATION PLAN | | Drawn FC | Scale 1:1250 @ A3 |
| Project Number 22.023 | | Date JUNE 2022 | Sheet A3 |
| Drawing Number 001 | | Revision B | Revision Date 19.10.22 |



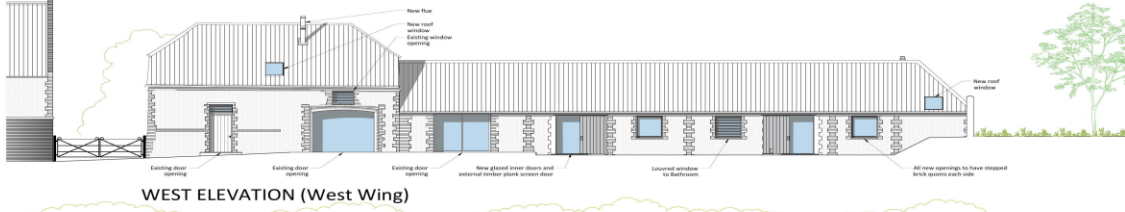
Proposed Site Block Plan
1:500 at A1

EXISTING ACCESS TO SERVE
WELCOME BARN AS PRINCIPAL
ACCESS AND PARKING FOR HOLIDAY
USERS. REFER PP-11319077

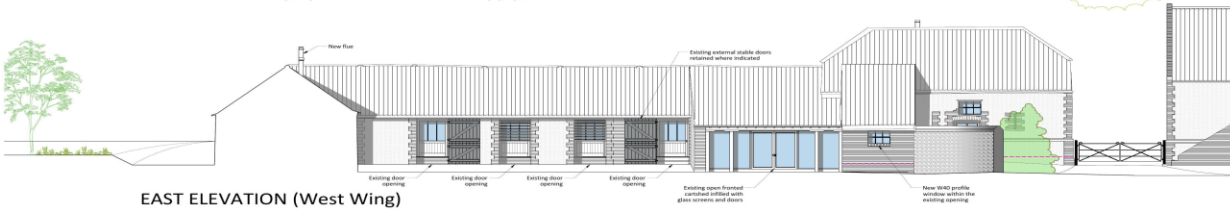
EXISTING PARKLAND FENCING
ALONGSIDE ROAD

EXISTING FARM ACCESS TO REMAIN

| Tidswell Childs | | | |
|----------------------|--------------------------|----------|---|
| Planning Consultants | | | |
| Client | DKREL FARMS LTD | Project | Proposed Conversion of Church Farm, Barns, Flg to Holiday Accommodation |
| Drawing No. | PROPOSED SITE BLOCK PLAN | Drawn | 1:08/24/21 |
| Project No. | 22.023 | Date | JUNE 2022 |
| Scale | | Revision | A1 |
| Author | | Approved | |
| Checked | | Accepted | |



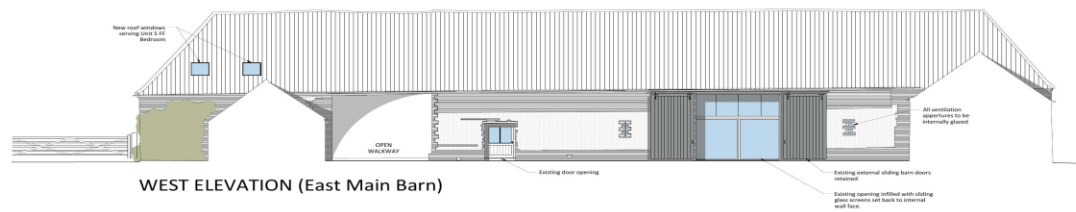
WEST ELEVATION (West Wing)



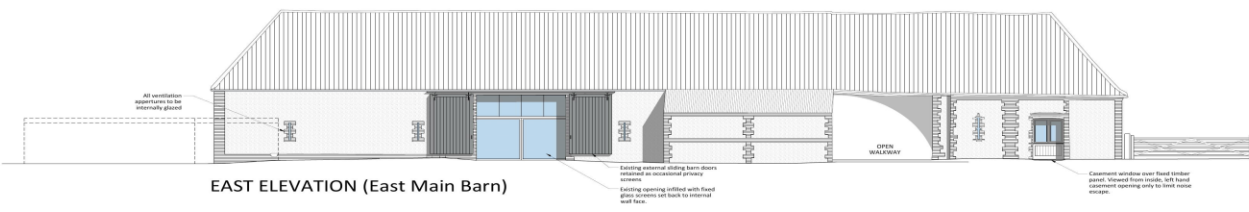
EAST ELEVATION (West Wing)



EAST ELEVATION (West Wing) (Garden Wall Removed)

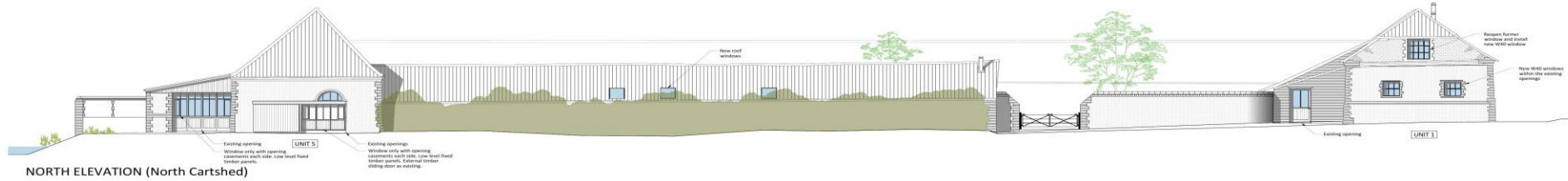


WEST ELEVATION (East Main Barn)



EAST ELEVATION (East Main Barn)

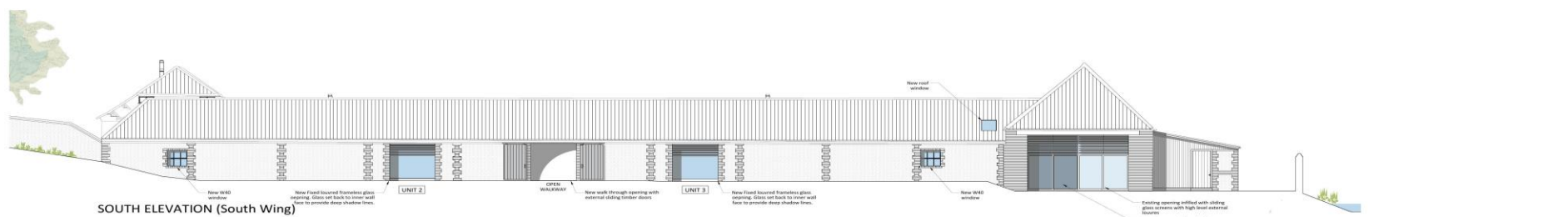
| Tidswell Childs | | | |
|--|---|----------------------|----------------------------------|
| Tidswell Childs Ltd Tel: 01802 443344 | | | |
| Client OYKEL FARMS LTD | Project Proposed Conversion of Church Farm Barns, Fing to Holiday Accommodation. | Drawn TC | Scale 1:100 @ A1 |
| Drawing Title PROPOSED ELEVATIONS SHEET 1 OF 2 | Date JUNE 2022 | Sheet A1 | |
| Project Number 22.023 | Drawing Number 004 | Revision D | Revision Date 06.10.22 |



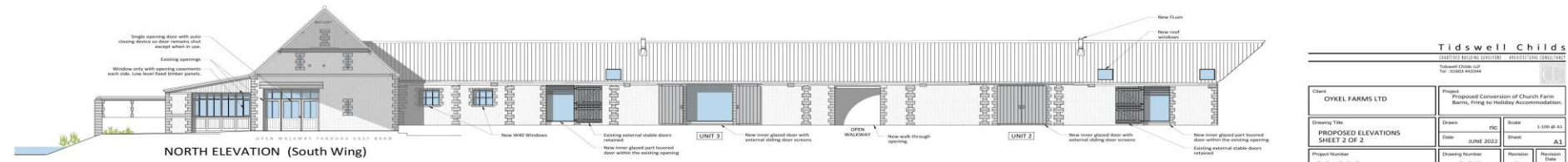
NORTH ELEVATION (North Cartshed)



SOUTH ELEVATION (North Wing Cart Shed)

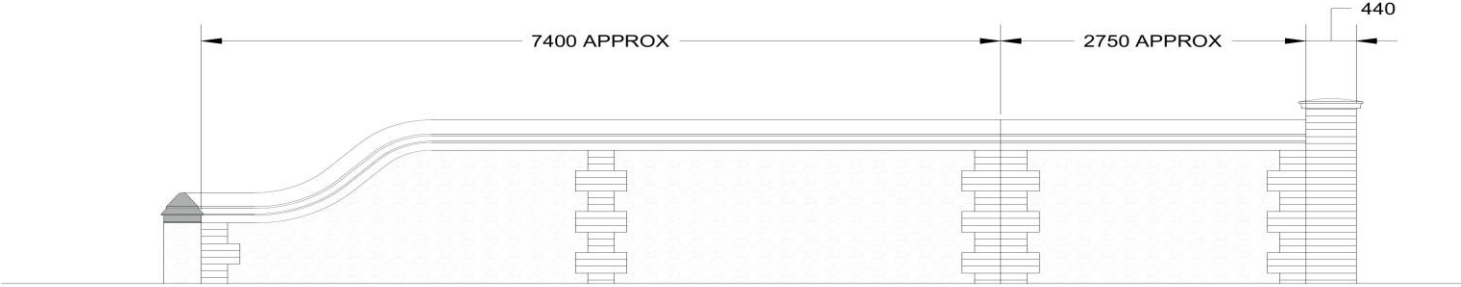


SOUTH ELEVATION (South Wing)

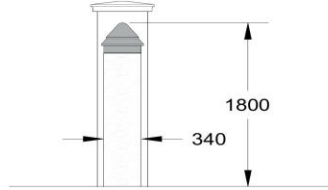


NORTH ELEVATION (South Wing)

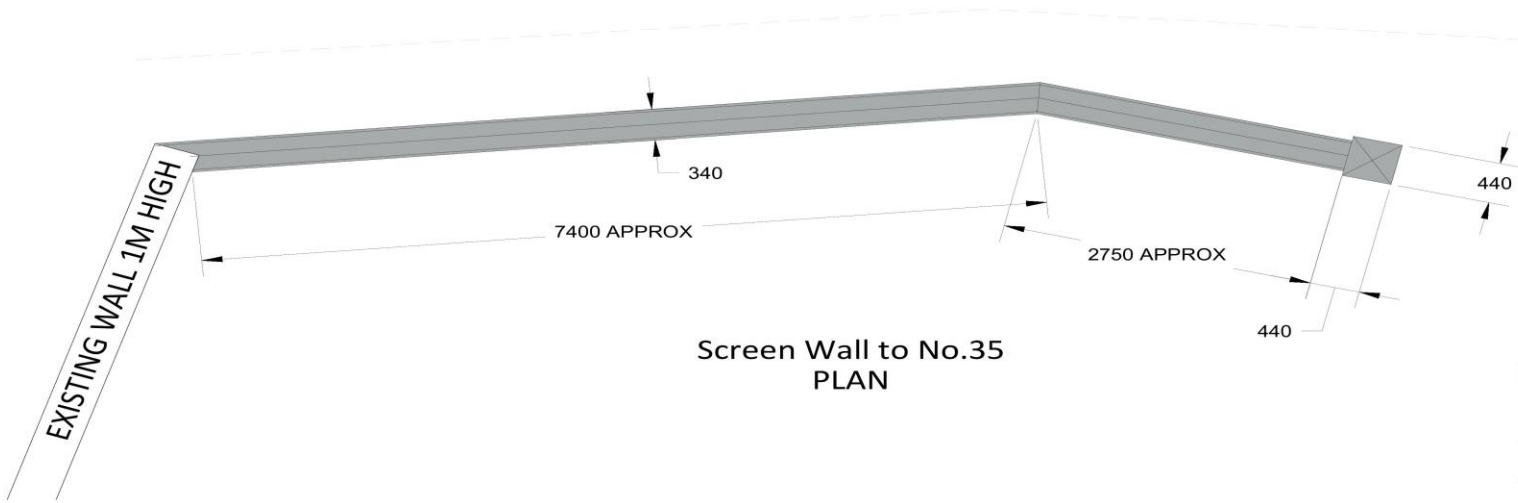
| | | | |
|---|--|-----------------|----------------------|
| Tidswell Childs | | | |
| <small>ARCHITECTS</small> | | | |
| <small>Tidswell Childs Ltd Tel: 01828 48334</small> | | | |
| Client | Project | Scale | |
| CYKEL FARMS LTD | Proposed Conversion of Church Farm Barns, Fing to Holiday Accommodation. | 1:500 @ A1 | |
| Drawing Title | Drawn | Date | Sheet |
| PROPOSED ELEVATIONS SHEET 2 OF 2 | ETC | JUNE 2022 | A1 |
| Project Number | Drawing Number | Revision | Revision Date |
| 22.023 | 005 | D | 06.10.22 |



Screen Wall to No.35
West Elevation



Typical New
Wall Section



Screen Wall to No.35
PLAN

| | | | |
|---|---|---------------------------|----------------------------------|
| Tidswell Childs <small>CLASSICAL BUILDING DESIGNERS ARCHITECTURAL CONSULTANTS</small> | | | |
| <small>Head Office: 15/17 Tel: 01503 443344</small> | | | |
| Client OYKEL FARMS LTD | Project Proposed Conversion of Church Farm Barns, Frog to Holiday Accommodation. | | |
| Drawing Title SCREEN WALL TO No. 35 | Drawn JFC | Scale 1:20 @ A1 | Date OCT 2022 |
| Project Number 22.023 | Drawing Number SW01 | Revision D | Revision Date 06.10.22 |



Main entrance of the site (north)



Existing entrance (south)



South elevation of existing barns



Historic cart sheds and no.35 positioned to the east of the barns



South elevation of existing barns



Proposed courtyard area



Existing brick and flint wall to be extended



East elevation of the barns





Barns with All Saints Church

SPEAKER
STEVEN ARROWSMITH



220126/F - CHURCH FARM FRING



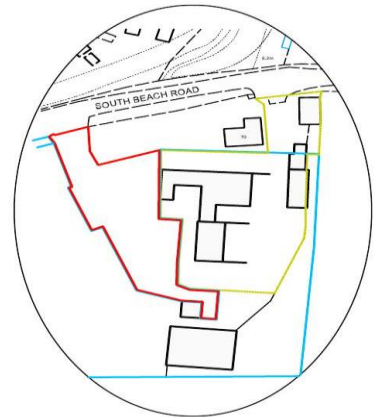
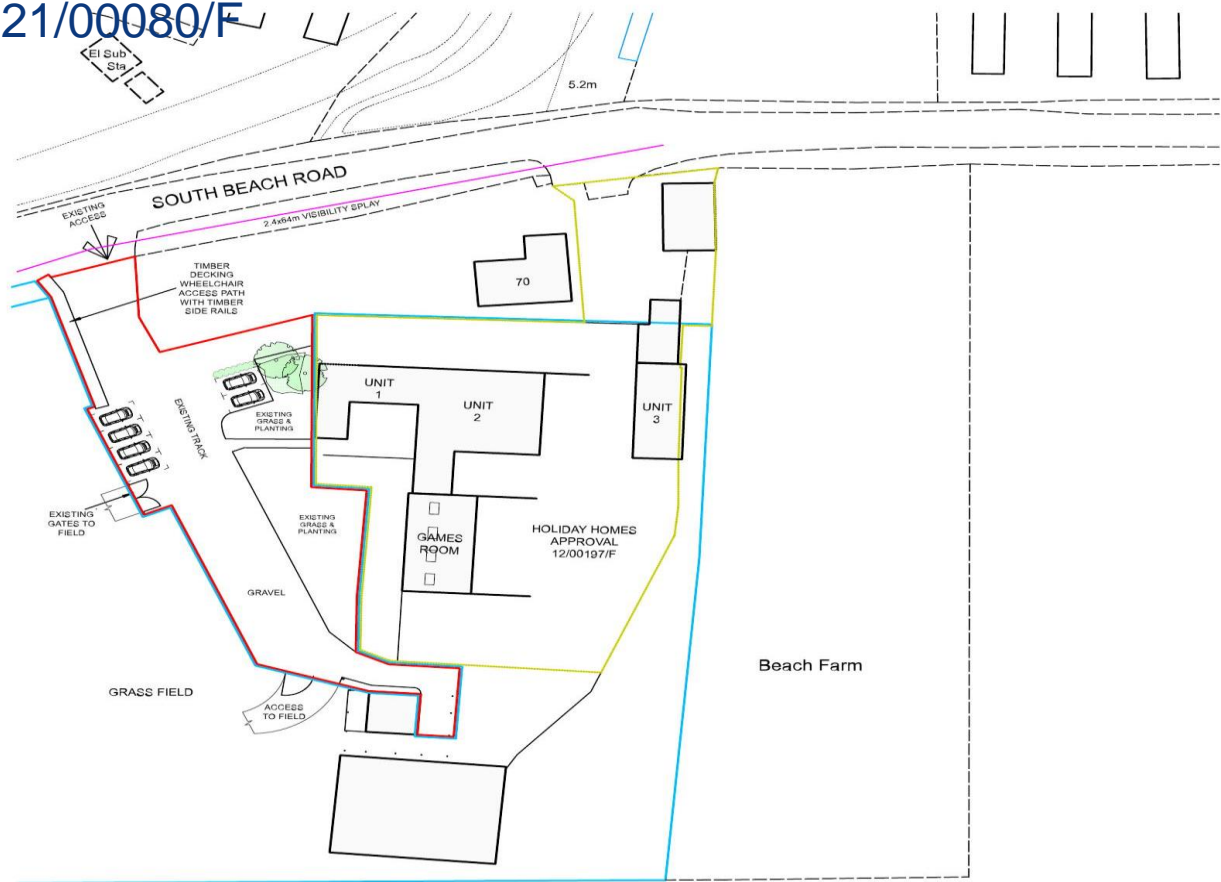
-  AGRICULTURE
-  RESIDENTIAL

- 
-  FRING ESTATE HOLIDAYS
- 
- 

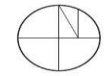
- 
-  PROPOSED CHANGE OF USE & EXTENSION OF FRING ESTATE HOLIDAYS
- 
- 

21/00080/F





LOCATION PLAN 1:1250



KEY

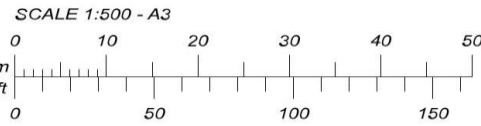
- = PARKING SPACE MIN 2.5 x 5m
- = APPLICATION SITE BOUNDARY 12/00197/F
- = NEW TREES
- = NEW PLANTING
- = REFUSE BIN COLLECTION POINT

REVISIONS
A - 20.09.22 - LAYOUT AMENDED

ba
brand
associates
architects

2A Dartford Road
Marsh PE15 8AB
tel [01354] 653 818
fax [01354] 651 951
mail@brand-associates.net

| | |
|---|-------------|
| CHANGE OF USE LAND SOUTH WEST OF 70 SOUTH BEACH ROAD HEACHAM PE31 7BB | |
| NIGEL MARSH | |
| SITE PLAN | |
| 1:500 | NEM 1 SEP20 |
| MAR20 | 1 : A |





Entrance to site from South Beach Road



Looking north along South Beach Road



Looking south along South Beach Road



Land to west



Northern boundary of approved holiday
let site



Approved holiday lets



Pedestrian access ramp adjacent to access and parking area



Parking area adjacent to barns



View to the north from inside the site

22/00699/F

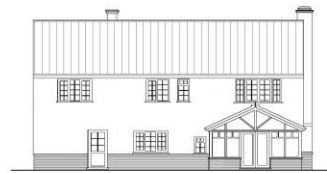




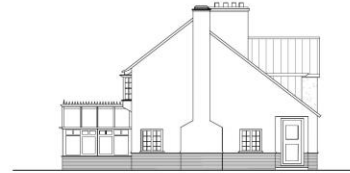
Existing Front Elevation 1:100



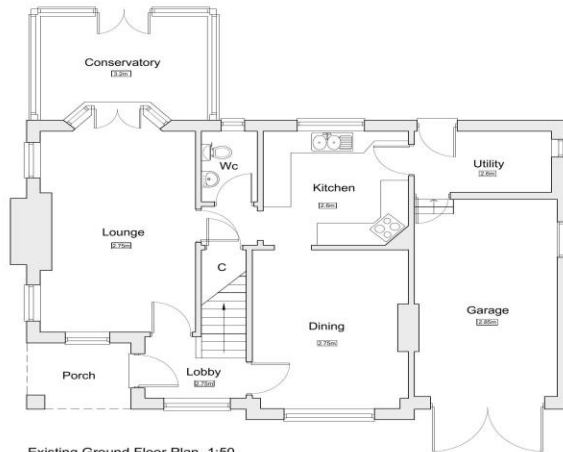
Existing Side Elevation 1:100



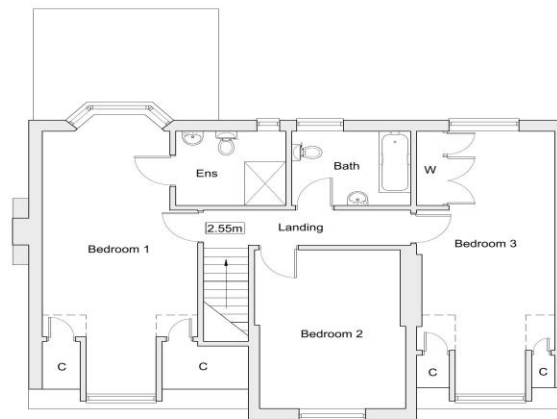
Existing Rear Elevation 1:100



Existing Side Elevation 1:100



Existing Ground Floor Plan 1:50



Existing First Floor Plan 1:50

REVISIONS



PETER HUMPHREY ASSOCIATES

ADDRESS: 2 CHAPEL ROAD, WISBECH, CAMBS, PE13 1RD.

TELEPHONE: 011545 40090

E-MAIL: info@peterhumphrey.co.uk

WEB: www.peterhumphrey.co.uk

LLC/NO:

MR & MRS PEGGS

PROJECT

PROPOSED REPLACEMENT DWELLING

NO:

No.7

HAMILTON ROAD

OLD HUNSTANTON

NORFOLK

PE36 6JA

DATE:

PLANNING DRAWING 1

JOB NO. DRAWING NO. DATE

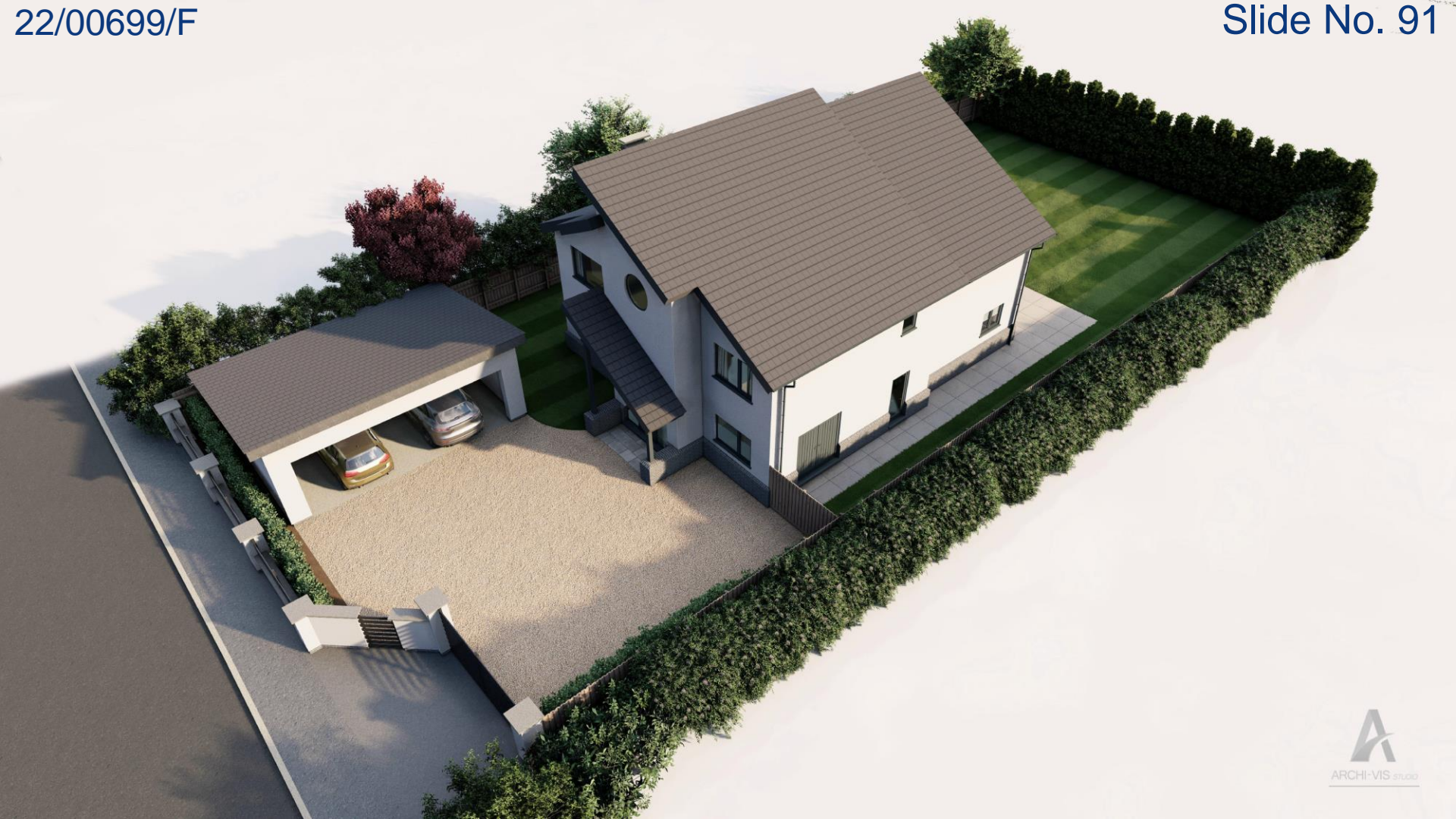
5847/01 A1 JULY 2021

Notes:
This plan is the property of Peter Humphrey Associates Ltd. and may not be used for any other purpose without their written consent.

All dimensions shown on this drawing are in millimetres unless otherwise stated. If the drawing is required to be printed at a different scale, the dimensions shall be scaled in accordance with the scale indicated on the drawing.

The Designer (Designer and Manufacturer) Regulations 2015.
The Designer (Designer and Manufacturer) Regulations 2015.
The Designer (Designer and Manufacturer) Regulations 2015.
The Designer (Designer and Manufacturer) Regulations 2015.







View towards existing dwelling from Hamilton Road, looking west.



View towards existing dwelling and northern neighbouring dwelling looking west.



View towards existing dwelling and southern neighbouring dwelling looking west.



Northern boundary and neighbouring dwelling.



Southern boundary and neighbouring dwelling.



View along Hamilton Road, looking north.



View along Hamilton Road, looking south.



Street scene- eastern side of Hamilton Road.



Neighbouring property to east.

21/02311/F





CONSTRUCTION DESIGN & MANAGEMENT REGULATIONS 2013

1. The contractor, sub-contractors and suppliers must verify all dimensions on site prior to the commencement of any work.
2. The contractor, sub-contractors and suppliers must verify all dimensions on site prior to the commencement of any work.
3. Any discrepancies are to be brought to the designer's attention.
4. Any discrepancies are to be brought to the designer's attention.



AS EXISTING

SWANN EDWARDS ARCHITECTURE

Swann Edwards Architecture Limited, Swann Edwards Architecture, 2 Black Barn, Fox Road, Garsdon, Walsoken, Cambs, CB23 3AA
 T 01353 653562 E info@swannedwards.co.uk www.swannedwards.co.uk

| | | |
|---|------------|--------------|
| Site Title | Drawn By | Drawn On |
| Proposed Temporary Home Land Adjacent Zobel Cottage, Green Lane, Walsoken, PE 14 7BJ, Fox, Wt. Peppercorn | MC | October 2021 |
| Drawn By | Checked By | RS |
| Job No. | Drawn Date | Scale |
| SE-17336 | A1 | 1:500 |
| Day No. | Revised | |
| 100 | | |



Side Elevation (W)

Scale: 1:100



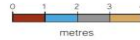
Rear Elevation (N)

Scale: 1:100



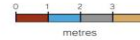
Side Elevation (E)

Scale: 1:100



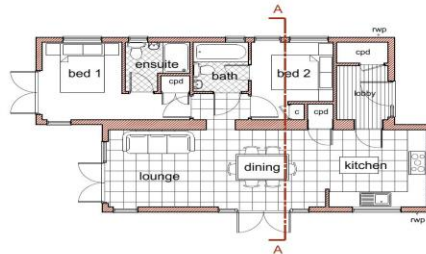
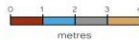
Front Elevation (S)

Scale: 1:100



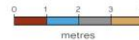
Section A-A

Scale: 1:100



Floor Plan

Scale: 1:100



ELEVATION KEY



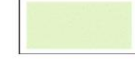
Proposed vertical timber cladding



Proposed horizontal timber cladding



Proposed timber joinery



Proposed green roof

- General Notes
1. All dimensions are given in mm unless otherwise stated.
 2. The contractor, sub-contractors and suppliers must verify all dimensions on site prior to the commencement of any work.
 3. This drawing is to be read in conjunction with all relevant engineers and specialist sub-contractors drawings and specifications.
 4. Any discrepancies are to be brought to the designers attention.

CONSTRUCTION DESIGN & MANAGEMENT REGULATIONS 2015

The following information must be read in conjunction with the project Risk register. This drawing highlights significant design related Health & Safety Risks present during Construction phase, and Residual Risks which remain post completion. Other Health & Safety Risks associated with Construction Activities may be present, and must be identified by the Principal Contractor prior to works commencing. Design Risks relating to specialist design items must be identified by the relevant specialist designers/ consultants and issued to the Principal Designer.

Status
FOR APPROVAL



Swann Edwards Architecture Limited, Swann Edwards Architecture, Black Barn, Fan Road, Gwynn, Walsoken, Cambs. PE13 4AA. 01955 450834 e info@swannedwards.co.uk w www.swannedwards.co.uk

| | | |
|---|--------------------------|------------------------------------|
| Job Title Proposed Temporary Home Land Adjacent Zoar Cottage, Green Lane, Walsoken, PE14 7BJ For: Mr Peppercorn | Date November 2021 | Drawn by MC Checked by RS |
| Drawing Title Planning Drawing Plan, Elevations & Section | Job No. SE-1736 | Sheet Size A2 |
| | Dwg No. PP1100 | Revision |



View along Green Lane to west



View along Green Lane to east



Site access as viewed from Green Lane



Site as viewed from Green Lane



West boundary, access to Green Lane



West boundary



View from existing parking area to north



View to South from inside site



East boundary

22/01577/RM





SIDE ELEVATION- SOUTH SCALE: 1:100
NO PLINTH RENDER FINISH DOWN TO DPC LEVEL ON INNER WALL

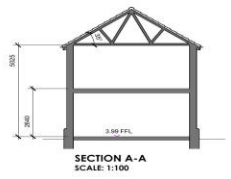
FRONT ELEVATION- EAST SCALE: 1:100
RED FACING BRICK TO PIERS AND HEADER COURSE ROUND
VERTICAL CEDAR CLADDING TO PROJECTION
RED FACING BRICK PLINTH RENDER FINISH ABOVE

SIDE ELEVATION- NORTH SCALE: 1:100

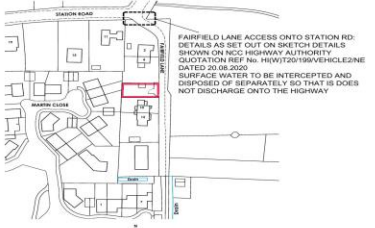
REAR ELEVATION- WEST SCALE: 1:100



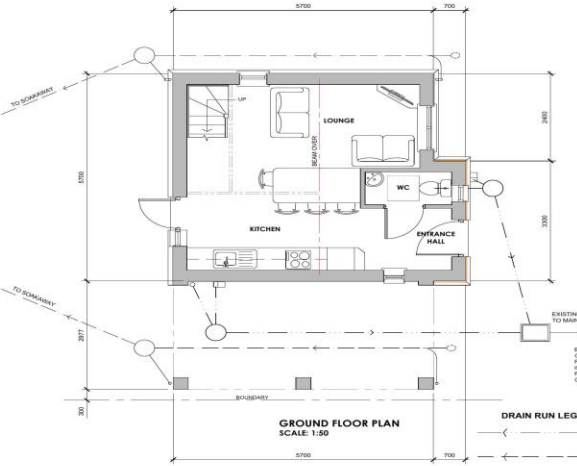
ROOF PLAN SCALE: 1:100



SECTION A-A SCALE: 1:100



LOCATION PLAN SCALE: 1:1250
(red line area 0.02 Ha)
(blue line area 0.0215 Ha)



GROUND FLOOR PLAN SCALE: 1:50

DRAIN RUN LEGEND
POUL WATER DRAIN Ø100
SURFACE WATER DRAIN Ø100



FIRST FLOOR PLAN SCALE: 1:50



PROPOSED SITE PLAN SCALE: 1:100

Project:
10 Fairfield Lane
Waltham
Kings Lynn
Norfolk
PE33 0JE

Client:
M

Title:
Plot Adjacent 10 Fairfield Lane
Proposed Floor Plans, Elevations,
Roof Plan, Site and Location Plan

Revision Details:
-

Issue Date: 29.06.22



All dimensions are in millimetres unless stated otherwise.
The drawing should be read in conjunction with all other relevant information, specifications & schedules.
All drawings to be checked electronically by the responsible professional to verify the accuracy of the drawing scale and project data.
A 150mm long line is provided on the bottom left corner of the drawing to indicate the correct scale has been used and when printing or drawing, use only 1:100 as the drawing scale.
All drawings to be checked on site prior to commencing work and any discrepancies to be notified immediately.
Construction design & Management regulations 2013 (CDM) permit information to those responsible for the 'Principal Designer' (PD) and the Client.
Holt Architectural Ltd are responsible for the 'Architectural design' element included on the drawing only.
Architectural design has been carried out with the contribution of the client during construction consultation.
The works contain no extraordinary hazards or risks that are not already covered by standard construction practices and will readily be accepted by a competent contractor.
This information should be included as part of the environmental of the Health and Safety file for the project.



South boundary and donor dwelling



West boundary and rear of No 8, 10, 12 Martin Close



North boundary



View southwest to site from No 4 Fairfield Lane



View south along Fairfield Lane



View north along Fairfield Lane



South boundary (rear of donor dwelling, No 10 Fairfield Lane)



North boundary (rear of No 4 Fairfield Lane)

END OF PRESENTATION

